



## County of Passaic

Administration Building

401 Grand Street • Paterson, New Jersey 07505-2023

OFFICE OF THE COUNTY ENGINEER  
ROOM 524

Nordan Murphy, P.E.  
County Engineer

TEL: (973) 881-4456  
FAX: (973) 742-3936  
TDD: (973) 279-9786

6/3/2026

Passaic County Board of Commissioners  
401 Grand Street  
Paterson, NJ 07505

RE: Encroachment Permit Application  
Applicant: 255 Main Street LLC  
Address: 255 Main Street, Paterson  
Municipality: City of Paterson  
Block: 6201 Lot: 1  
Application: SP-25-034

Dear Members of the Board:

This office has received and reviewed an Encroachment Permit Application for existing architectural cornices, existing business canopy sign, a portion of the existing building façade, existing sidewalk basement and an existing cellar door and steps that encroach into the Main Street right-of-way.

The conditions of the permit shall include:

1. The applicant/owner agrees to hold the County of Passaic and its agents and employees harmless for any damages incurred as a result of the granted encroachment.
2. Upon proper notice from the County of Passaic, the owner agrees to remove all or any of the encroachments at his expense for any reason as may be required by the County of Passaic in the future.
3. Should the owner modify or abandon the need for the encroachments, the portion(s) containing the encroachment of this structure or other feature shall be removed by the owner at his expense; and thus said encroachment permission within the County's right-of-way shall cease to exist.
4. The applicant/owner shall comply with all conditions of the County Planning Board approval. A copy of the approval should be appended to the final agreement to be executed.
5. The architectural cornices, cellar door/steps and sidewalk basement shall be re-inspected on a Bi-Annual (every other year) by a licensed by a new jersey licensed engineer, and a structural integrity report prepared and submitted to the Paterson construction official and to the Passaic County Planning Board staff.

Our office recommends the Encroachment Permit be approved and issued to the applicant, with the conditions noted above.

Very truly yours,

Muhammed S. Assal, P.E.  
Principal County Engineer

Attachment

cc: Nordan Murphy, PE, County Engineer  
Nadege Allwaters, Esq., County Counsel



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[roadpermits@passaiccountynj.org](mailto:roadpermits@passaiccountynj.org)

APPLICATION FOR RIGHT-OF-WAY ENCROACHMENT PERMIT

255 MAIN ST LLC 4-27-2026  
 Name of Applicant Date

Owner  Partner  Authorized Corporate Official   
SAMO AS ABOVE KHEDER ETIANI  
 Name of Company (if applicable)

Partnership  Corporation   
255 MAIN STREET - PATERSON NJ  
 Street Address of Encroachment

PATERSON 62C1 1  
 Municipality Block(s) Lot(s)

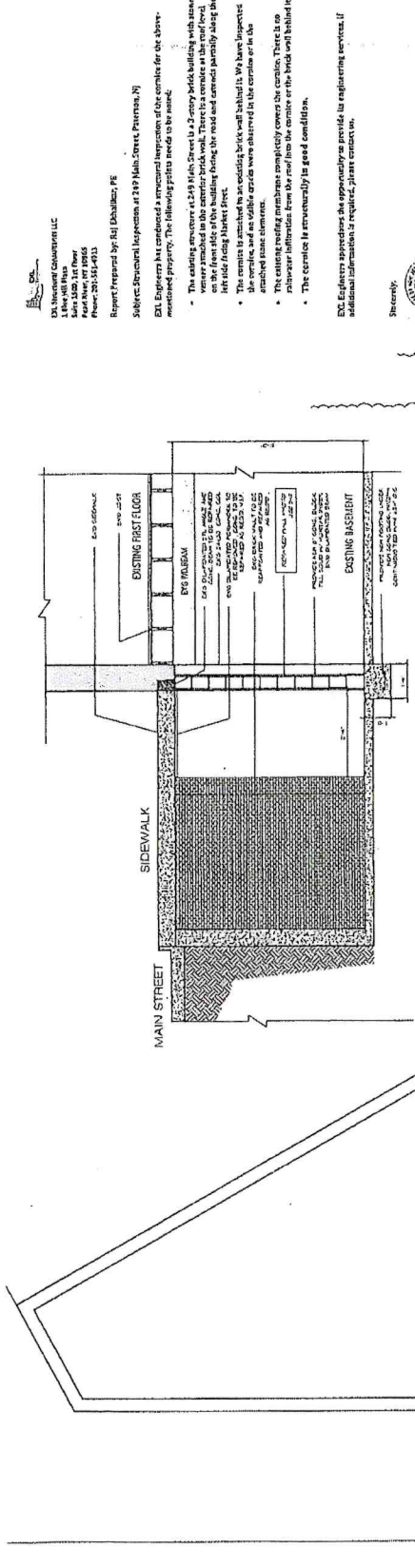
Type of Encroachment (check all that apply): New  Existing

Canopy(s)  Sign(s)   
 Building Structure (1<sup>st</sup> Floor)  Building Structure (2<sup>nd</sup> Floor or higher)   
 Cellar Door(s)  Roof Overhang   
 Window Overhang  Door Opens into County Right-of-way   
 Fence  Retaining Wall

Other  Describe: CORNICES ALL UP STGBL  
255 MAIN ST PATERSON NJ 07505  
 Address of Applicant City State Zip  
973-870-1299 ETIANI930@TCSMAIL  
 Telephone Number Email  
.COM

The following must accompany the application:  
 Four (4) copies of the property survey/site plan showing and describing in detail the encroachment with dimensions and outside boundaries; and the County of Passaic Right-of-Way Line.  
 Photographs clearly showing the existing encroachment. The center of the picture should be oriented along the Right-of-Way line. Note: If any excavation is required in the road or right of way, in addition to this permit please submit a completed Highway Opening and Use Permit Application (FORM: ROAD-HWYOPENPERMITAPP).

\* ALREADY ON FILE



**A-3.8 VAULT SECTION DETAIL**  
SCALE 1/8" = 1'-0"

**A-3.5.8 EXISTING VAULT / BASEMENT FLOOR PLAN**  
SCALE 1/8" = 1'-0"

**PROFESSIONAL ENGINEER:**  
**PXI - Structural Consultants LLC**  
 1 Blue Hill Plaza, Suite 101, 1st Floor  
 Fort Lee, NJ 07024  
 Phone: 201-551-4933

**Report Prepared by:** Raj Dhanraj, P.E.

**Subject:** Structural Inspection at 249 Main Street, Paterson, NJ

**EX-Engineers** has conducted a structural inspection of the details for the above-mentioned property. The following points need to be noted:

- The existing structure at 249 Main Street is a 2-story brick building with stone veneer attached to the exterior brick wall. There is a complete slab on the first floor.
- The existing structure is being used for retail and general storage along the Main Street side of the building.
- The details to be inspected are as follows: (1) Existing brick wall behind the stone veneer, and as visible areas were observed in the exterior or in the attached frame corners.
- The existing masonry appears to be in good condition. There is no observed deterioration from the roof into the exterior or the brick wall behind it.
- The concrete is structurally in good condition.

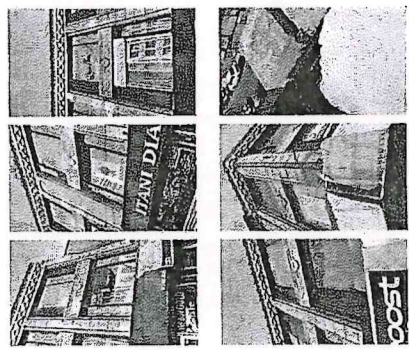
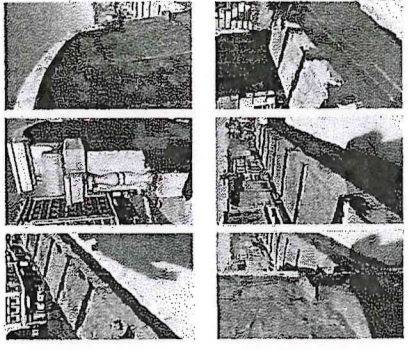
**EX-Engineers** approaches the approximately as provided for engineering services. If additional information is required, please contact us.



**Structural**  
 Raj Dhanraj, P.E.  
 NJ Professional Engineer #124849  
 Date: 2/17/2024

**A-5.7**

**PROFESSIONAL ENGINEER:**  
**PXI - Structural Consultants LLC**  
 1 Blue Hill Plaza, Suite 101, 1st Floor  
 Fort Lee, NJ 07024  
 Phone: 201-551-4933



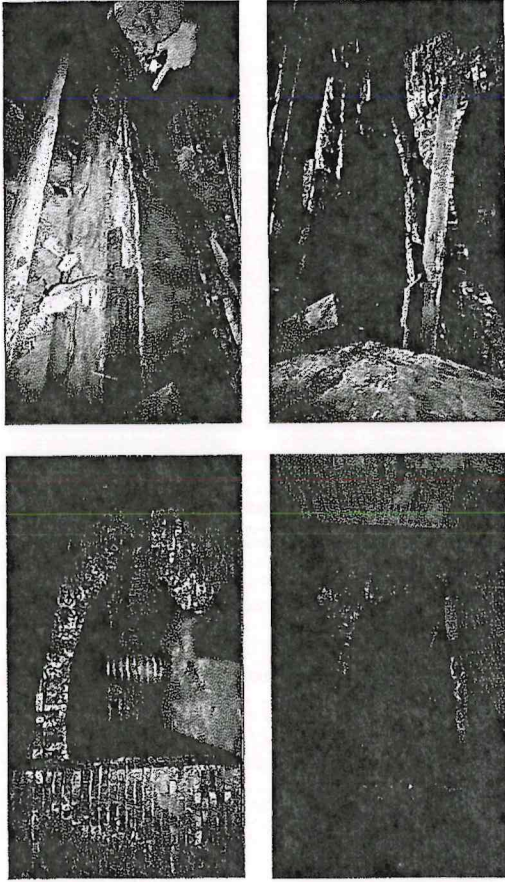
**PROFESSIONAL ENGINEER:**  
**PXI - Structural Consultants LLC**  
 1 Blue Hill Plaza, Suite 101, 1st Floor  
 Fort Lee, NJ 07024  
 TOL: 201-551-4933  
 Email: pxi@earthlink.net  
 FAX: 201-551-4933  
 NJ 07024  
 NJ 07024  
 NJ 07024

**EVANS ARCHITECTS AIA**  
 MATTHEW G. EVANS  
 ARCHITECT - PROFESSIONAL LICENSED  
 400 CHAMBERS AVENUE  
 PATERSON, NJ 07650  
 TEL: 973-261-8872  
 WWW.EVANSARCHITECTS.COM

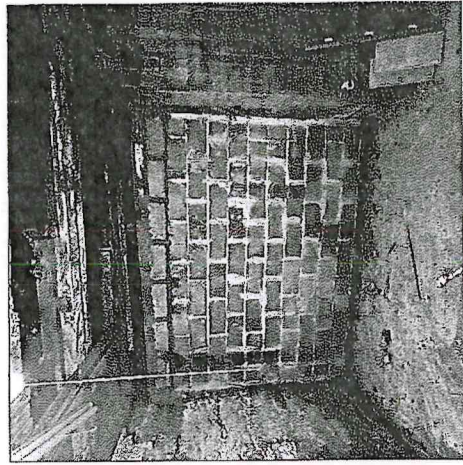
**PROPOSED RESIDENTIAL CONVERSION**  
**SECOND & THIRD FLOOR**  
**FOR**  
**255 MAIN ST. LLC**  
**249 255 MAIN STREET**  
**PATERSON, NJ**

**SCALE:**  
 1/8" = 1'-0"  
 1/4" = 1'-0"  
 1/2" = 1'-0"  
 3/4" = 1'-0"  
 1" = 1'-0"  
 1 1/4" = 1'-0"  
 1 1/2" = 1'-0"  
 1 3/4" = 1'-0"  
 2" = 1'-0"  
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 8" = 1'-0"  
 8 1/4" = 1'-0"  
 8 1/2" = 1'-0"  
 8 3/4" = 1'-0"  
 9" = 1'-0"  
 9 1/4" = 1'-0"  
 9 1/2" = 1'-0"  
 9 3/4" = 1'-0"  
 10" = 1'-0"

**VAULT PLAN & DETAILS**  
 V-1  
 DATE: 2/17/24  
 SCALE: 1/8" = 1'-0"



1 A. VAULT EXISTING CONDITION (PHOTO).

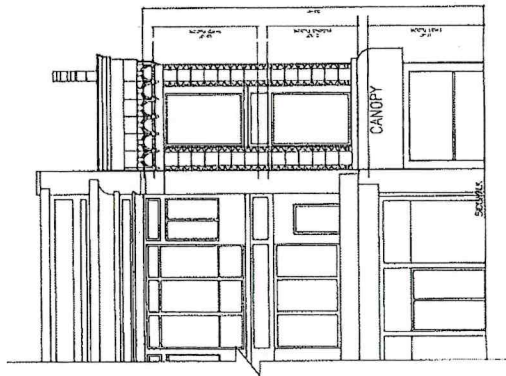


2 VAULT WALL REPAIRED AS PER ENGINEER RECOMMENDATION

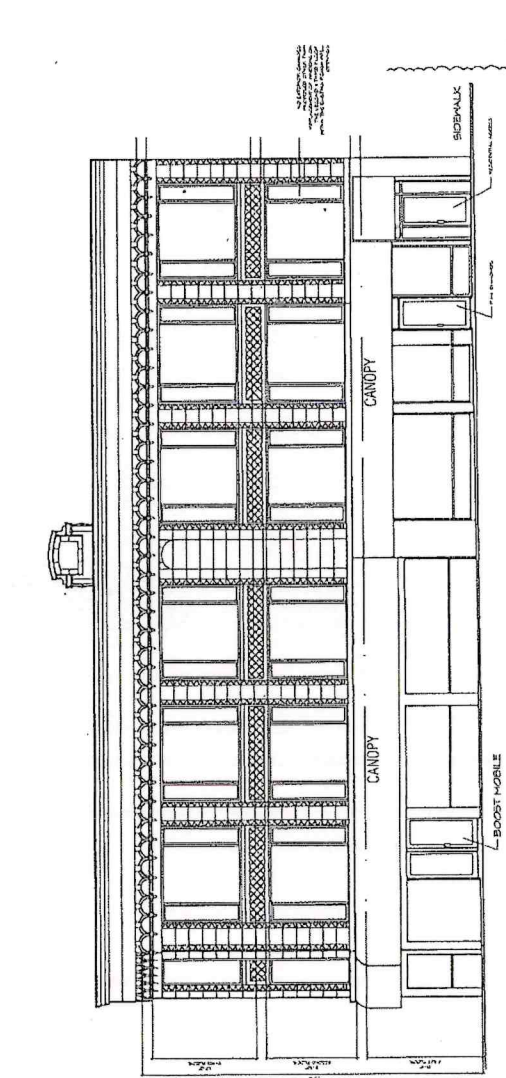
SEE PLAN AND SECTION 14

2.5.8

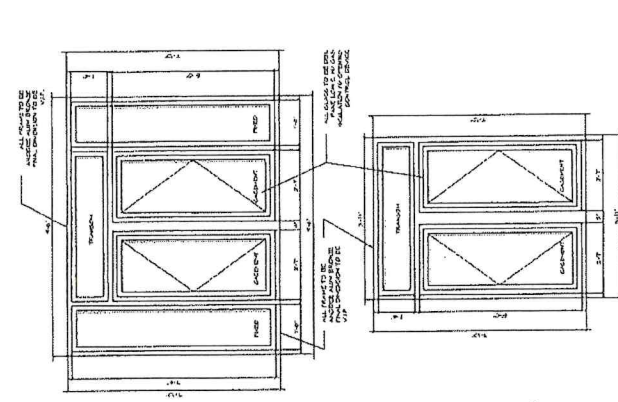
<b>PROFESSIONAL ENGINEER:</b> <b>PXI - Structural Consultants LLC</b> 1 Blue Hill Place, Suite 100, 1st Floor Paterson, NJ 07651 Tel: (201) 241-8111 Email: eng@pxiengineering.com J.W.L. SNOOK, P.E. NJ PE #14086  STATE OF NEW JERSEY PROFESSIONAL ENGINEER	
<b>EVANS ARCHITECTS AIA</b> <b>MATTHEW G. EVANS</b> ARCHITECT, PROFESSIONAL, F.A.S.A. 4700 COMMUNITY CENTER DRIVE PATTERSON, NJ 07651 TEL: 201-241-8111 WWW.EVANSARCHITECTS.COM	
<b>PROPOSED RESIDENTIAL CONVERSION</b> <b>SECOND &amp; THIRD FLOOR</b> <b>FOR</b> <b>255 MAN ST. LLC</b> <b>249-255 MAN STREET</b> <b>PATERSON, NJ</b> <small>THIS DRAWING IS A PART OF A PROFESSIONAL ENGINEER'S DESIGN. IT IS THE PROPERTY OF THE ENGINEER AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER.</small>	
1. PROJECT NO. 2. PROJECT NAME 3. PROJECT LOCATION 4. PROJECT DATE 5. PROJECT STATUS 6. PROJECT DESCRIPTION 7. PROJECT OWNER 8. PROJECT CONTACT 9. PROJECT ADDRESS 10. PROJECT PHONE 11. PROJECT FAX 12. PROJECT EMAIL 13. PROJECT WEBSITE 14. PROJECT URL 15. PROJECT URL	<b>VAULT PLAN &amp; DETAILS</b> DRAWN BY: [Signature] CHECKED BY: [Signature] <b>V-2</b> DATE: 05.14.14 SCALE: AS SHOWN



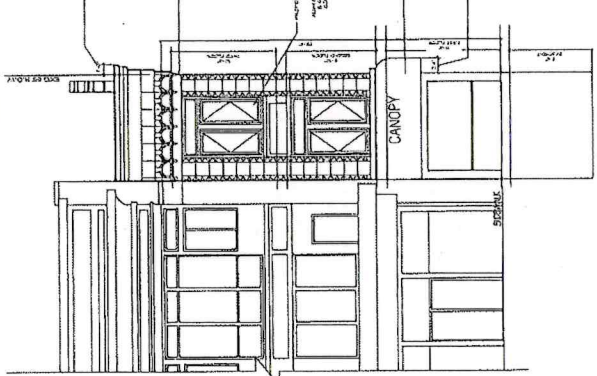
EXISTING MARKET STREET ELEVATION  
SCALE 1/8" = 1'-0"



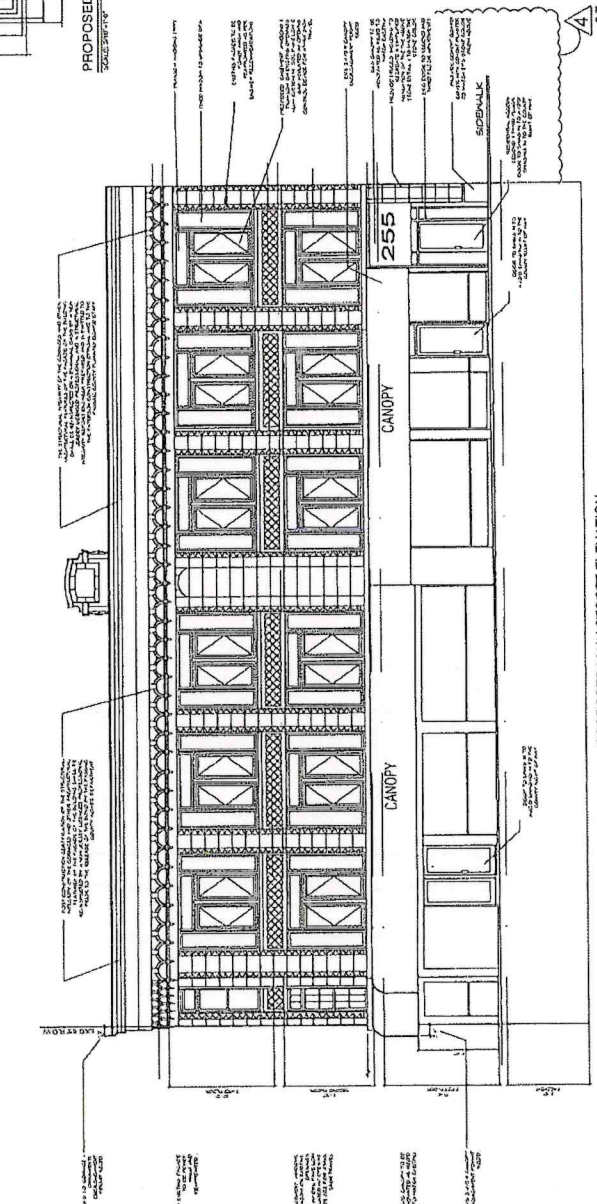
PROPOSED MARKET STREET ELEVATION  
SCALE 1/8" = 1'-0"



PROPOSED WINDOW'S DETAIL  
SCALE 1/4" = 1'-0"



EXISTING MAIN STREET ELEVATION  
SCALE 1/8" = 1'-0"



PROPOSED MAIN STREET ELEVATION  
SCALE 1/8" = 1'-0"

<b>EVANS ARCHITECTS AIA</b> MATTHEW G. EVANS ARCHITECT / PROFESSIONAL CHAIR 475 CHERRYWOOD DRIVE PATERSON, NJ 07650 TEL: 201-261-1111 WWW.EVANSARCHITECTS.COM		<b>PROPOSED RESIDENTIAL CONVERSION</b> SECOND & THIRD FLOOR FOR 255 MAIN ST. LLC 249-255 MAIN STREET PATERSON, NJ	
THIS DRAWING IS A PART OF A SET OF ARCHITECTURAL DRAWINGS FOR THE PROPOSED RESIDENTIAL CONVERSION OF THE SECOND & THIRD FLOOR OF 255 MAIN STREET, PATERSON, NJ. IT IS TO BE USED IN CONJUNCTION WITH THE OTHER DRAWINGS IN THE SET.		DATE: 11/15/2011 DRAWING NO.: 255-02-01 PROJECT NO.: 255-02	
ELEVATIONS NUMBER A-2		DRAWN BY: MGE CHECKED BY: MGE DATE: 11/15/2011	